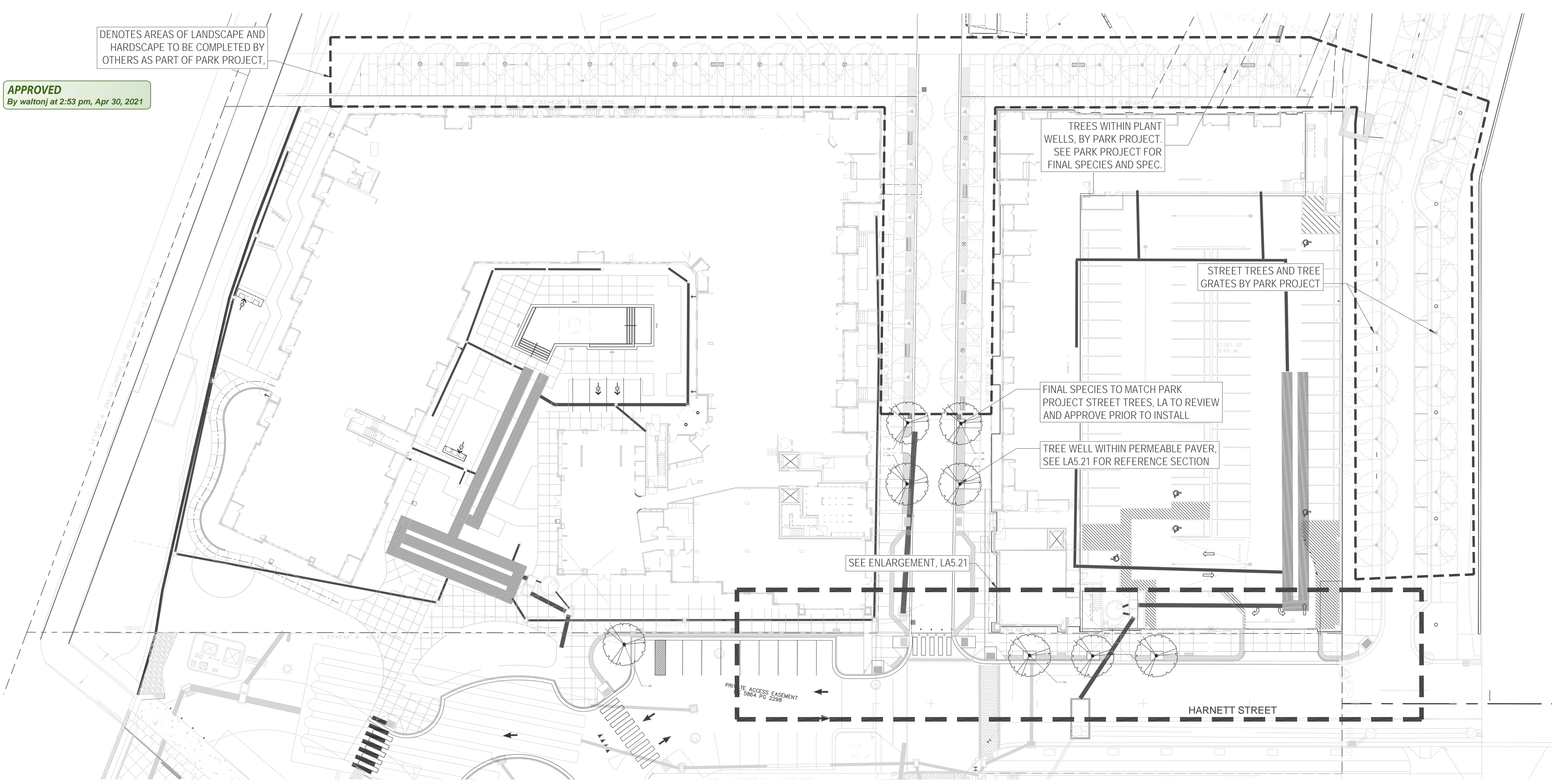


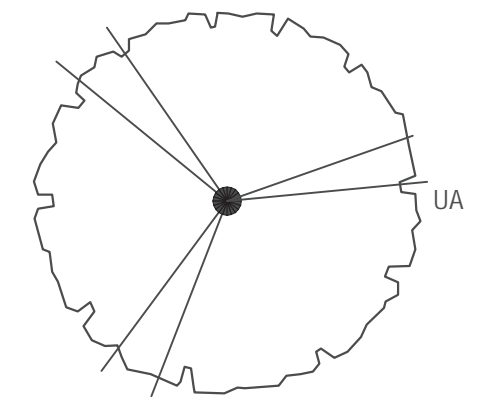
DENOTES AREAS OF LANDSCAPE AND HARDSCAPE TO BE COMPLETED BY OTHERS AS PART OF PARK PROJECT.

APPROVED
By waltonj at 2:53 pm, Apr 30, 2021



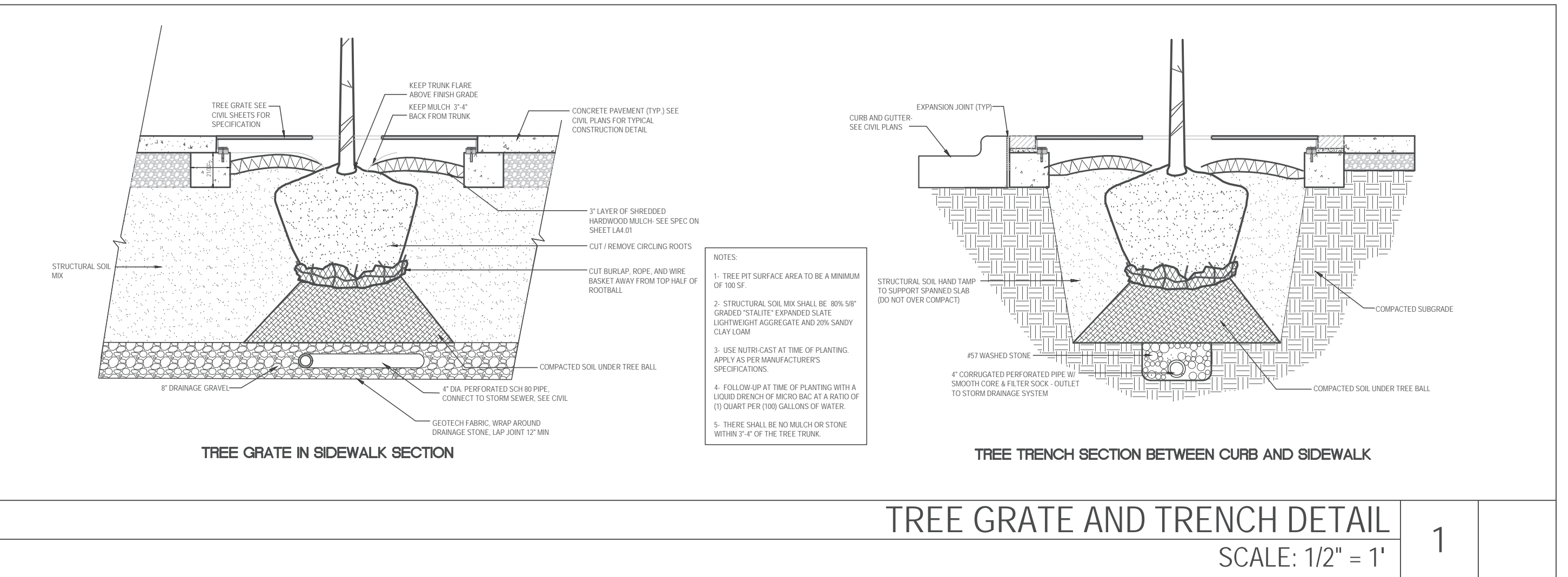
PLANT SCHEDULE STREET TREES

MEDIUM MATURING CODE BOTANICAL / COMMON NAME CONT CAL QTY



MEDIUM MATURING	CODE	BOTANICAL / COMMON NAME	CONT	CAL	QTY
UA		Ulmus parvifolia 'Alicia' / Alicia Lacebark Elm	B&B	2'	8

DETAILS FOR HARNETT STREET TREES ONLY



TREE GRATE AND TRENCH DETAIL
SCALE: 1/2" = 1'

GENERAL LANDSCAPE NOTES

1. THE TECHNICAL SPECIFICATIONS INCLUDED IN THESE DRAWINGS ENUMERATE THE PROJECT CONDITIONS, REQUIRED SUBMITTALS, PROCEDURES AND PROTOCOLS, QUALITY CONTROL, MATERIALS AND PRODUCTS, METHODS FOR EXECUTION OF THE WORK, MAINTENANCE, AND WARRANTIES ASSOCIATED WITH THE CONTRACT WORK. PERFORMED WORK NOT MEETING THE REQUIRED SPECIFICATIONS MAY BE FOUND TO BE UNACCEPTABLE AND WILL BE SUBSEQUENTLY REJECTED. CONTRACTOR WILL BE RESPONSIBLE FOR THE MEANS AND COSTS ASSOCIATED WITH ALL REPLACEMENT, REPAIR, OR ALTERATIONS NECESSARY TO PERFORM THE WORK IN ACCORDANCE WITH THE SPECIFICATIONS.
2. CONTRACTOR SHOULD NOTE THE REQUIRED STANDARDS FOR NURSERY STOCK INCLUDED IN THE TECHNICAL SPECIFICATIONS. IN ADDITION, THE STANDARDS SHOULD BE REVIEWED BY THE CONTRACTOR'S SUPPLIERS TO ENSURE PLANT MATERIALS CONFORM TO THE REQUIRED STANDARDS.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. DISCREPANCIES IN PLANT QUANTITIES SHOULD BE ADDRESSED TO THE LANDSCAPE ARCHITECT FOR CONFIRMATION OR CLARIFICATION.
4. THE CONTRACTOR IS EXPECTED TO ACCURATELY LOCATE THE EDGES BETWEEN PLANTING BEDS AND TURF GRASS AREAS AS WELL AS THE SPECIFIED PLANTINGS. CONSULT THE TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
5. SPECIFIC REQUIREMENTS FOR TURF GRASS SOIL, COMPOST, AND OTHER SOIL AMENDMENTS INCLUDING REQUIRED SOIL TESTING IS SHOWN IN THE TECHNICAL SPECIFICATIONS.
6. GRADE ALL LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE. THE LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF AREAS WITH INADEQUATE DRAINAGE PRIOR TO INSTALLATION OF LANDSCAPING.
7. PLANTS IN ROWS OR GROUPINGS SHALL BE MATCHED WITH RESPECT TO SIZE AND FORM.
8. AT INSTALLATION AND CONTINUOUSLY DURING THE MAINTENANCE CONTRACT, ALL PROPOSED SHRUBS SHOWN AS SQUARE IN FORM ON THE DRAWINGS SHOULD BE PROTECTED INTO BOX-SHAPED PLANTS.
9. PLANTS SPECIFIED FOR MASS PLANTINGS TO BE SPACED APART AS SPECIFIED AND PLACED IN TRIANGULATED PATTERNS UNLESS OTHERWISE SHOWN.
10. DO NOT MAKE PLANT SUBSTITUTIONS. FOLLOW SPECIFIED PROTOCOLS IN REQUESTING SUBSTITUTIONS.
11. ESTABLISH AND MAINTAIN TOP OF GRADE 2 INCHES OR 3 INCHES BELOW ADJACENT CURBS, WALKWAYS, AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF SOIL OR MULCH, RESPECTIVELY.
12. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
13. ALL SITE LANDSCAPE AREAS ARE TO BE EITHER PLANTED, SOGGED, SEEDED, OR MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS. NO DRENCHED-ON-SITE AREAS ARE ACCEPTABLE.
14. TREE STAKING AND GUYSING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
15. ALL PLANTS AND TURF GRASS SOIL SHALL BE WARRANTED DURING INSTALLATION AND THROUGHOUT THE REQUIRED MAINTENANCE PERIOD UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. SPECIFIC REQUIREMENTS TO BE AS INDICATED IN THE TECHNICAL SPECIFICATIONS.

SEE LA4.01 FOR LANDSCAPE TECHNICAL SPECIFICATIONS
SEE LA4.02 FOR LANDSCAPE DETAILS, PLANT LISTS AND MATERIALS SPECIFICATIONS
(SEE LA4.04 FOR PLANT LIST)

811
Know what's below.
Call before you dig.

CODE REQUIRED LANDSCAPE PLAN

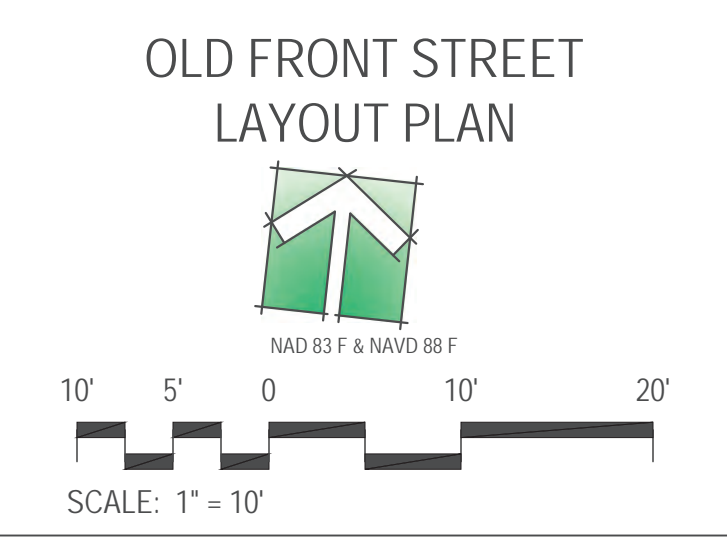
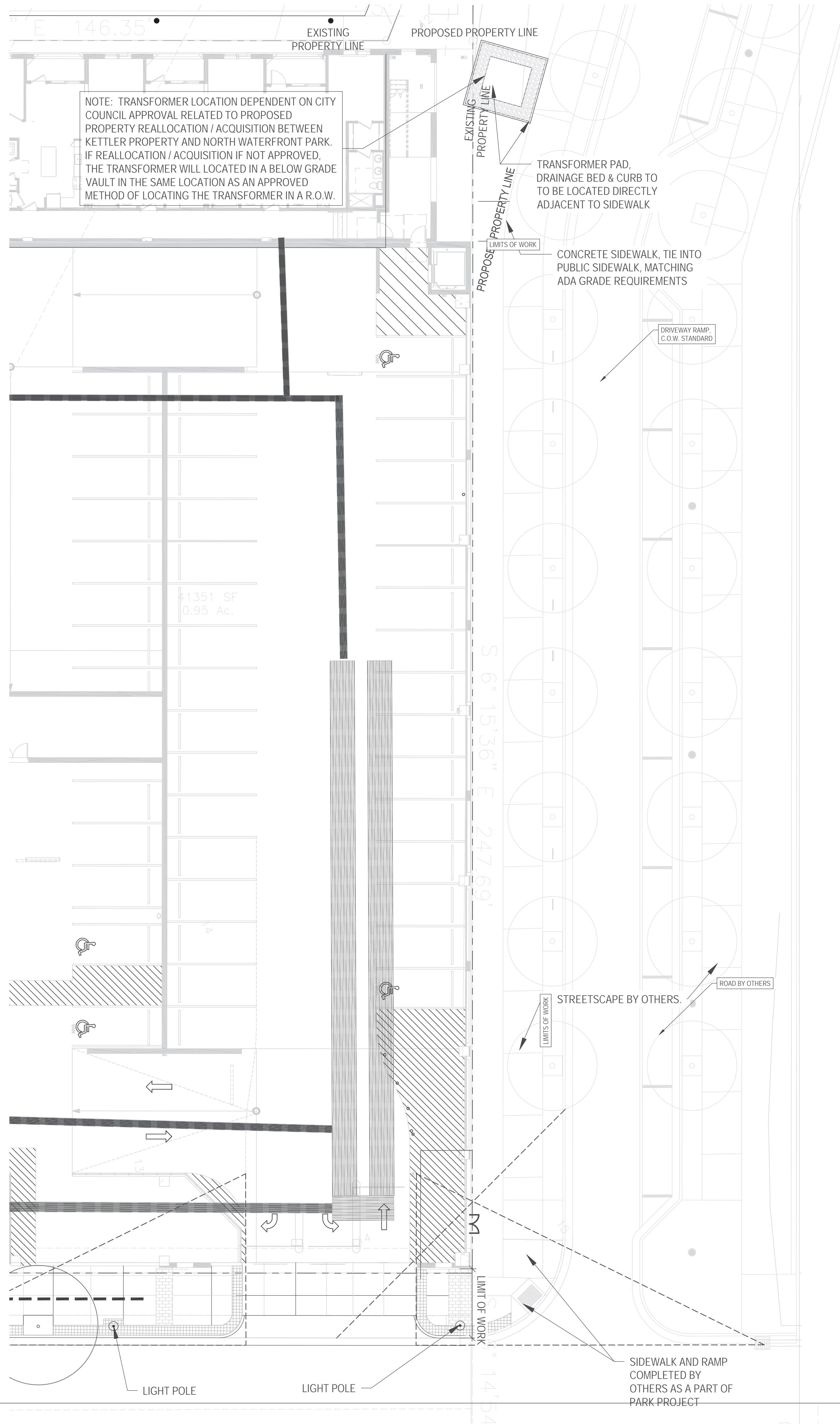
APPROVED CONSTRUCTION PLAN
Jeff Walton
April 30, 2021
City SW# 2021021
JW, BM, CW, ES, MB

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PROJECT:	19020	DATE:
ISSUE:	ISSUE	PROJ. DATE
TRC SUBMITTAL	11.25.2019	DATE
70% DD	12.19.2019	
TRC RESUBMITTAL	01.20.2020	
TRC RESUBMITTAL	03.06.2020	
TRC RESUBMITTAL	04.09.2020	
TRC RESUBMITTAL	05.05.2020	
TRC RESUBMITTAL	08.03.2020	
TRC - PARK COORD	09.25.2020	
TRC RESUBMITTAL	10.19.2020	
REVISIONS:	ADD 01: TRC REQUIREMENTS / OWNER REVISIONS	DATE
DRAWN BY:	MR	
CHECKED BY:	JP	
CONTENT:	CODE REQUIRED LANDSCAPE PLAN	

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CONSTRUCTION PLAN**
Jeff Walton
April 30, 2021
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APPROVED
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PROJECT	19020
ISSUE	SCHEMATIC DESIGN 09.13.2019
50% DD	11.19.2019
70% DD	12.20.2019
TRC RESUBMITTAL	01.20.2020
TRC RESUBMITTAL	03.06.2020
TRC RESUBMITTAL	04.09.2020
TRC RESUBMITTAL	05.05.2020
TRC RESUBMITTAL	08.03.2020
TRC - PARKS COORD.	09.25.2020
TRC - Resubmittal	10.19.2020
TRC - Resubmittal	12.21.2020

REVISIONS

DRAWN BY: MA

CHECKED BY: JP

CONTENT: OLD FRONT STREET LAYOUT PLAN

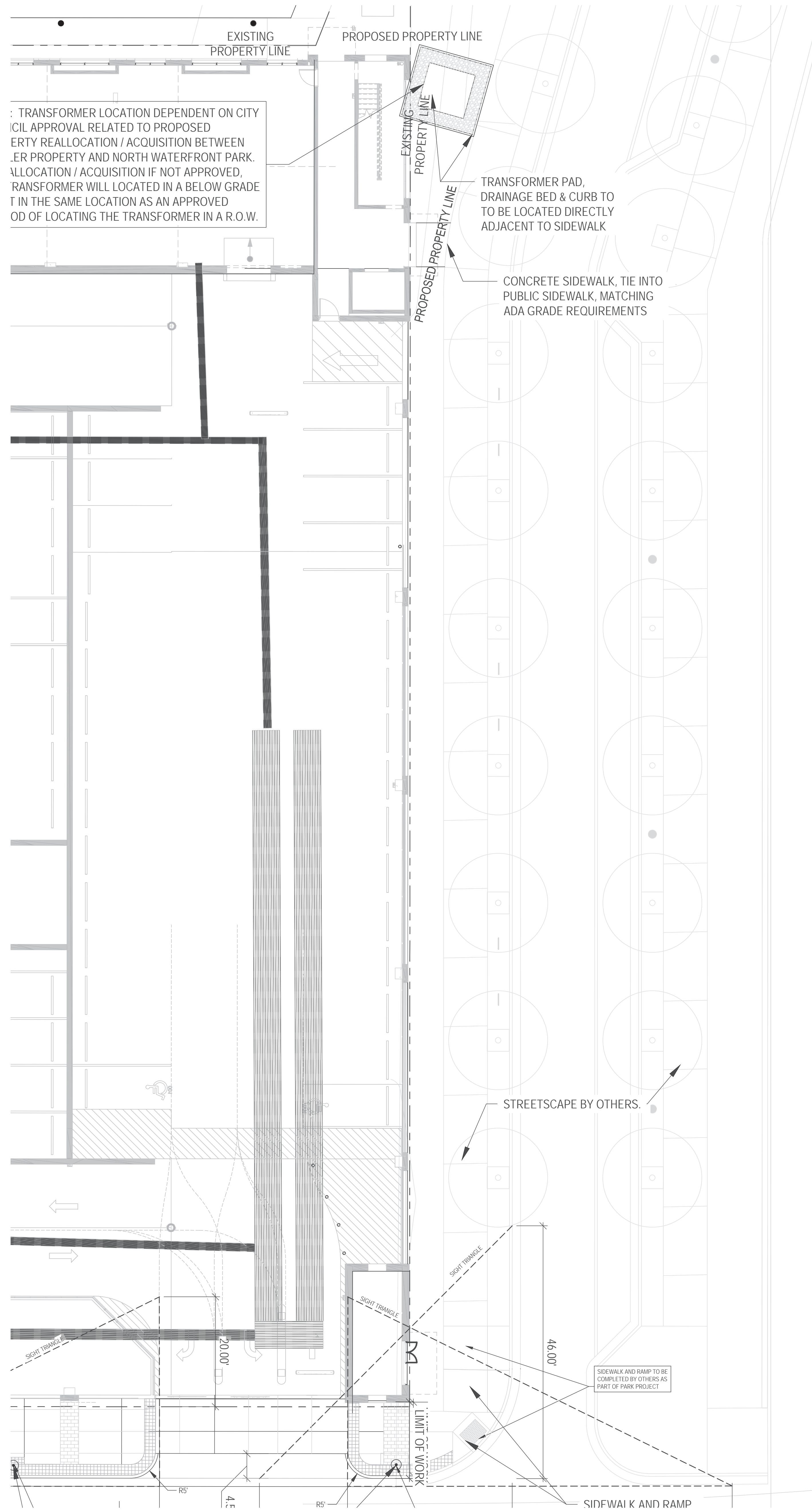
Kettler
Wilmington Riverfront Apts.
Harnett Street
Wilmington, NC 28041

LA5.01

Plan
 Fire
 Traffic

**APPROVED
 CONSTRUCTION PLAN**
Jeff Walton
April 30, 2021
City SW# 2021021
JW, BM, CW, ES, MB

APPROVED
 By waltonj at 2:53 pm, Apr 30, 2021



: TRANSFORMER LOCATION DEPENDENT ON CITY CIVIL APPROVAL RELATED TO PROPOSED ERTY REALLOCATION / ACQUISITION BETWEEN .ER PROPERTY AND NORTH WATERFRONT PARK. ALLOCATION / ACQUISITION IF NOT APPROVED, TRANSFORMER WILL LOCATED IN A BELOW GRADE T IN THE SAME LOCATION AS AN APPROVED OD OF LOCATING THE TRANSFORMER IN A R.O.W.

TRANSFORMER PAD, DRAINAGE BED & CURB TO BE LOCATED DIRECTLY ADJACENT TO SIDEWALK

CONCRETE SIDEWALK, TIE INTO PUBLIC SIDEWALK, MATCHING ADA GRADE REQUIREMENTS

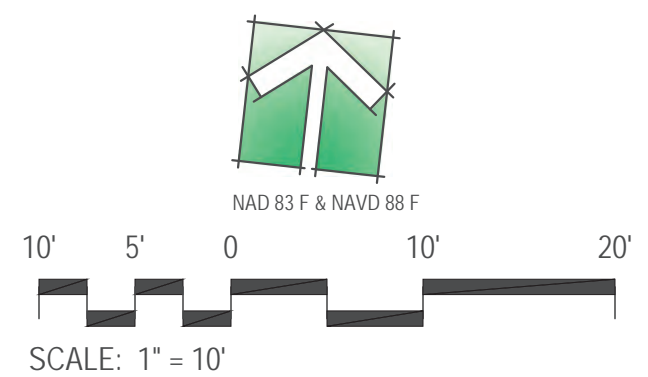
STREETSCAPE BY OTHERS.

SIDEWALK AND RAMP TO BE COMPLETED BY OTHERS AS PART OF PARK PROJECT

GRADING AND DRAINAGE LEGEND

- × 302.75
EX. B.C.
382.75
EXISTING SPOT ELEVATION - FROM TOPOGRAPHIC SURVEY OR FROM CIVIL ENGINEER'S PROPOSED GRADING & ELEVATIONS
- ◆ 62.75
PROPOSED SPOT ELEVATION
- ROD 2
2,311 SF
ROOF DOWNSPOUT & TRIBUTARY ROOF AREA
- 6"
ROOF DRAINAGE PIPE - SEE SPEC
- 4"
PERFORATED PIPE UNDERDRAIN - SEE SPEC
- CD 42
CHANNEL DRAIN & SOLID OUTLET PIPE TO HDPE STORM PIPE OR STRUCTURE - SEE DETAIL & SPEC
- CATCH BASIN WITH GRATE TOP FOR HARDCD AREAS
- CATCH BASIN WITH DOME TOP FOR LANDSCAPE AREAS
- STONE INLET PROTECTION - SEE SPECIFICATION SCHEDULE FOR STONE
- 2%
SLOPE ARROW
- STANDARD CURB INLET - SEE CIVIL PLANS
- DUCTILE IRON PIPE OR RCP - SEE CIVIL PLANS

**OLD FRONT STREET
 DIMENSIONS PLAN**



PROJECT:	19020
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TRC RESUBMITTAL	08.03.2020
TRC - PARKS COORD.	09.25.2020
TRC - Resubmittal	10.19.2020
REVISIONS:	TRC AMENDMENTS / OTHER REVISIONS 12.21.2020

DRAWN BY: MA
 CHECKED BY: JP
 CONTENT: OLD FRONT STREET DIMENSIONS PLAN

LA5.02

Kettler
Wilmington Riverfront Apts.
 Harnett Street
 Wilmington, NC 28041

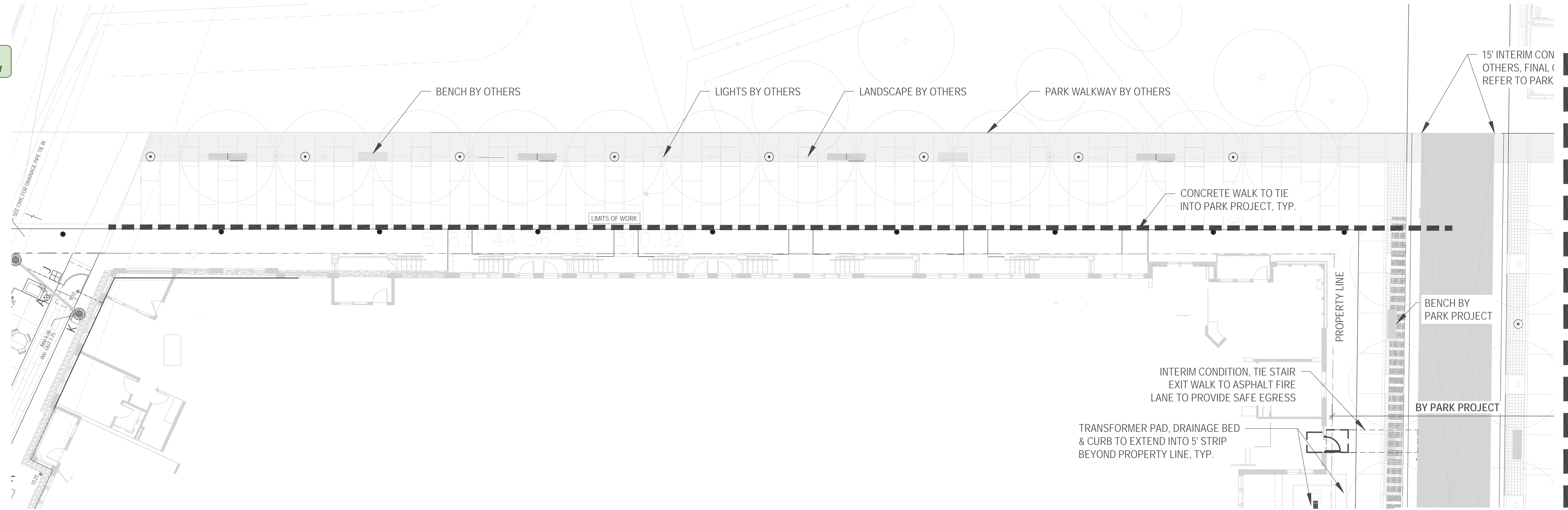
J DAVIS
 510 South Wilmington St. | Raleigh, NC 27601 | Tel 919.895.1500
 1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | Tel 215.545.0121

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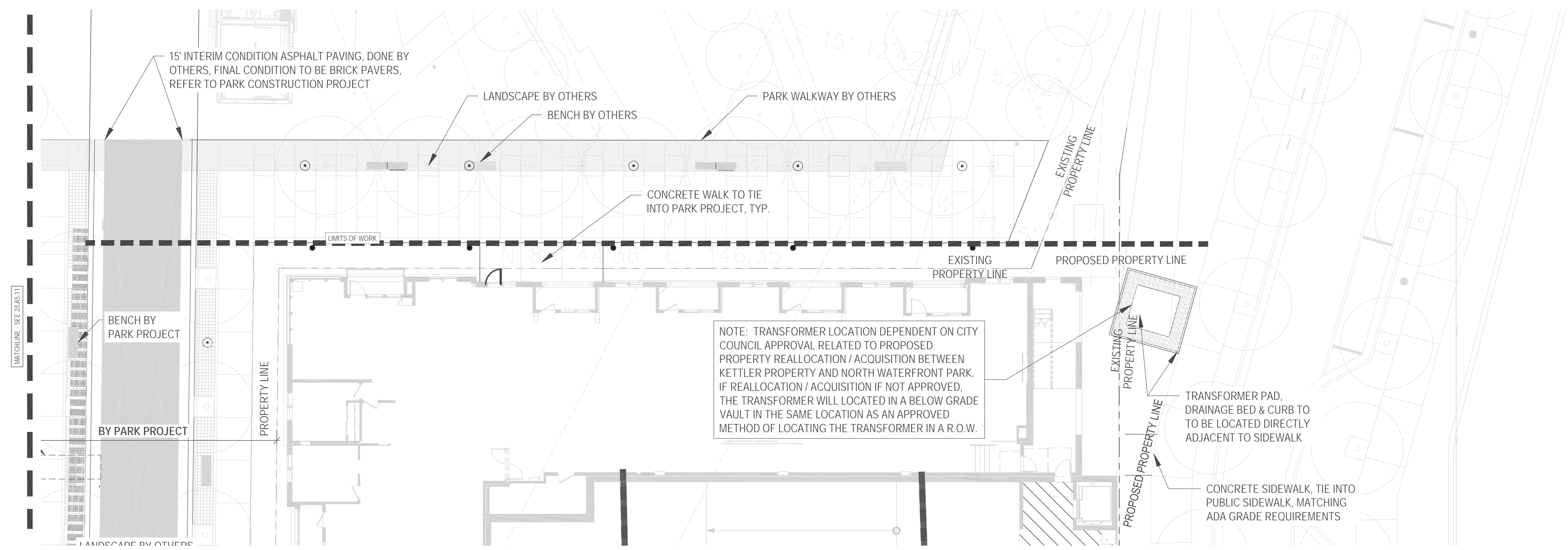
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Jeff Walton
April 30, 2021
City SW# 2021021
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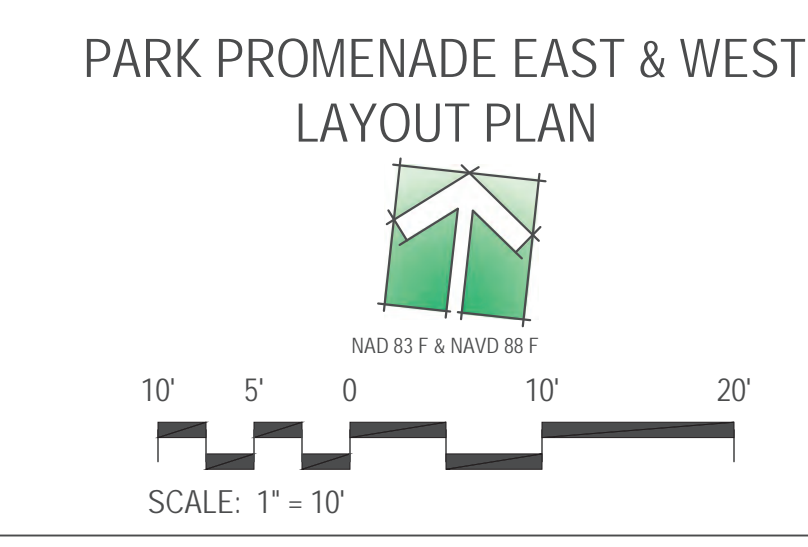
APPROVED
By waltonj at 2:53 pm, Apr 30, 2021



PARK PROMENADE - WEST
SCALE: 1" = 10' 2



PARK PROMENADE - EAST
SCALE: 1" = 10' 1



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TRC RESUBMITTAL	08.03.2020
TRC - PARKS COORD.	09.25.2020
TRC - Resubmittal	10.19.2020
REVISIONS	12.21.2020

REVISIONS
DRAWN BY: MA
CHECKED BY: JP
CONTENT: PARK PROMENADE EAST & WEST LAYOUT PLAN

LA5.11

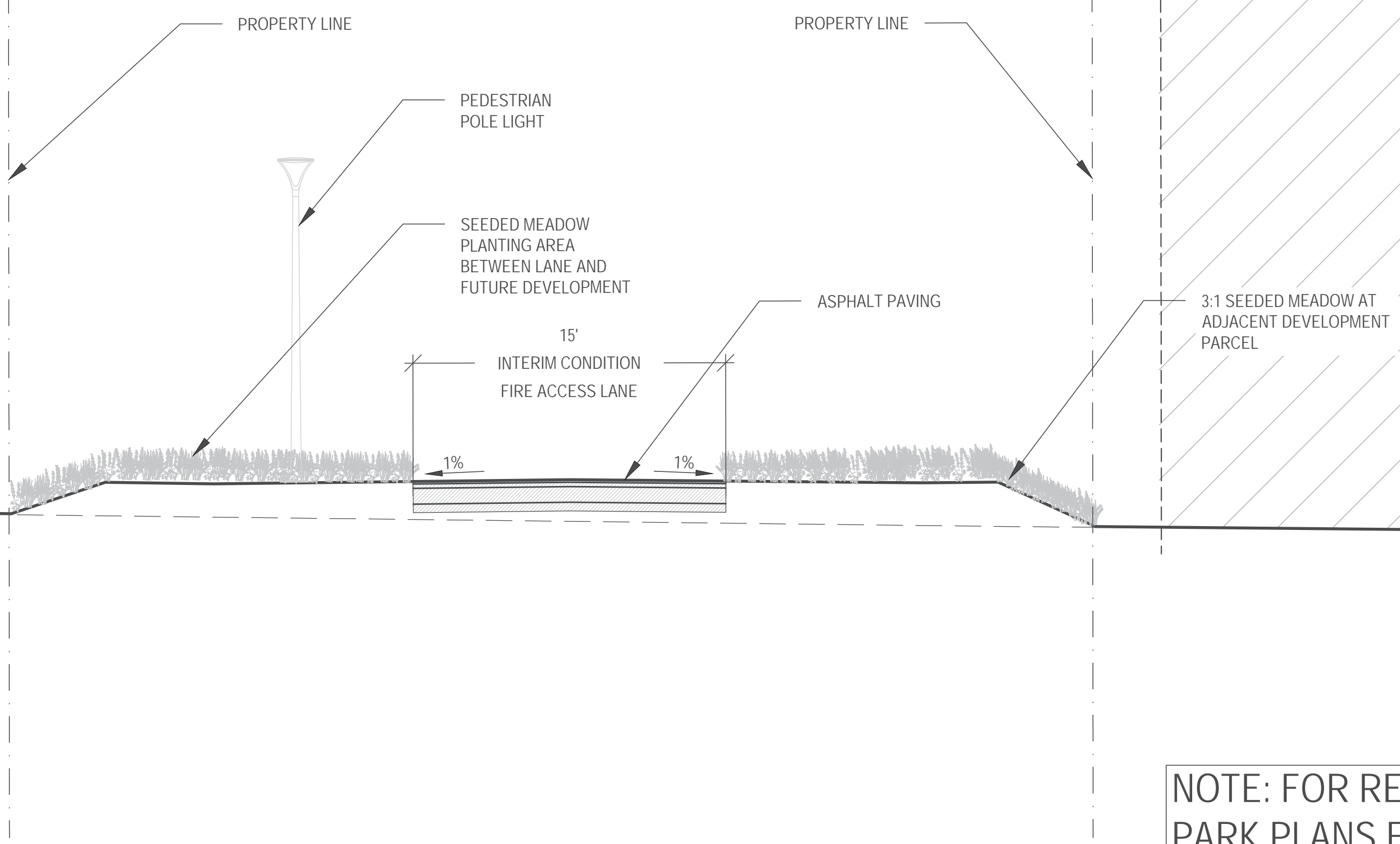
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Harnett Street
Wilmington, NC 28041

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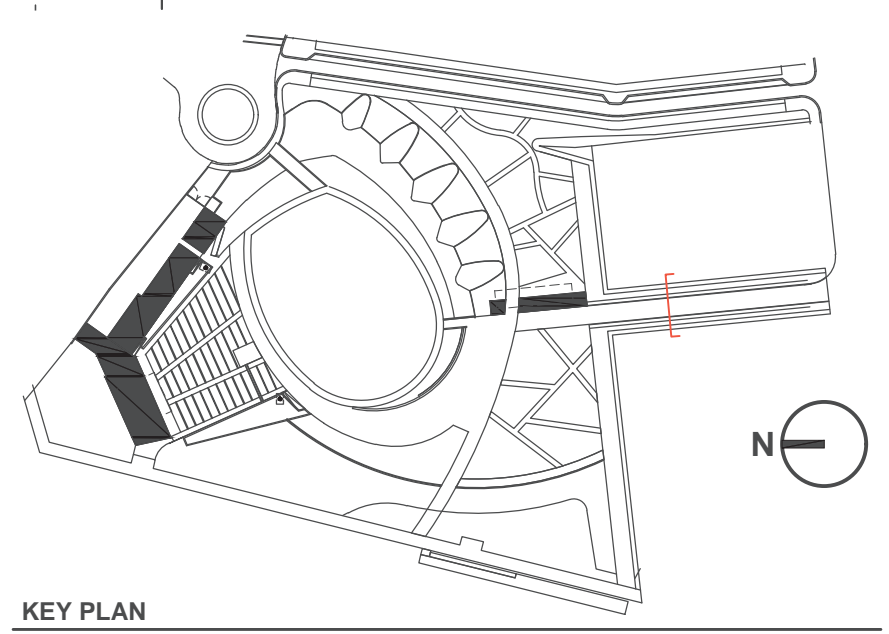
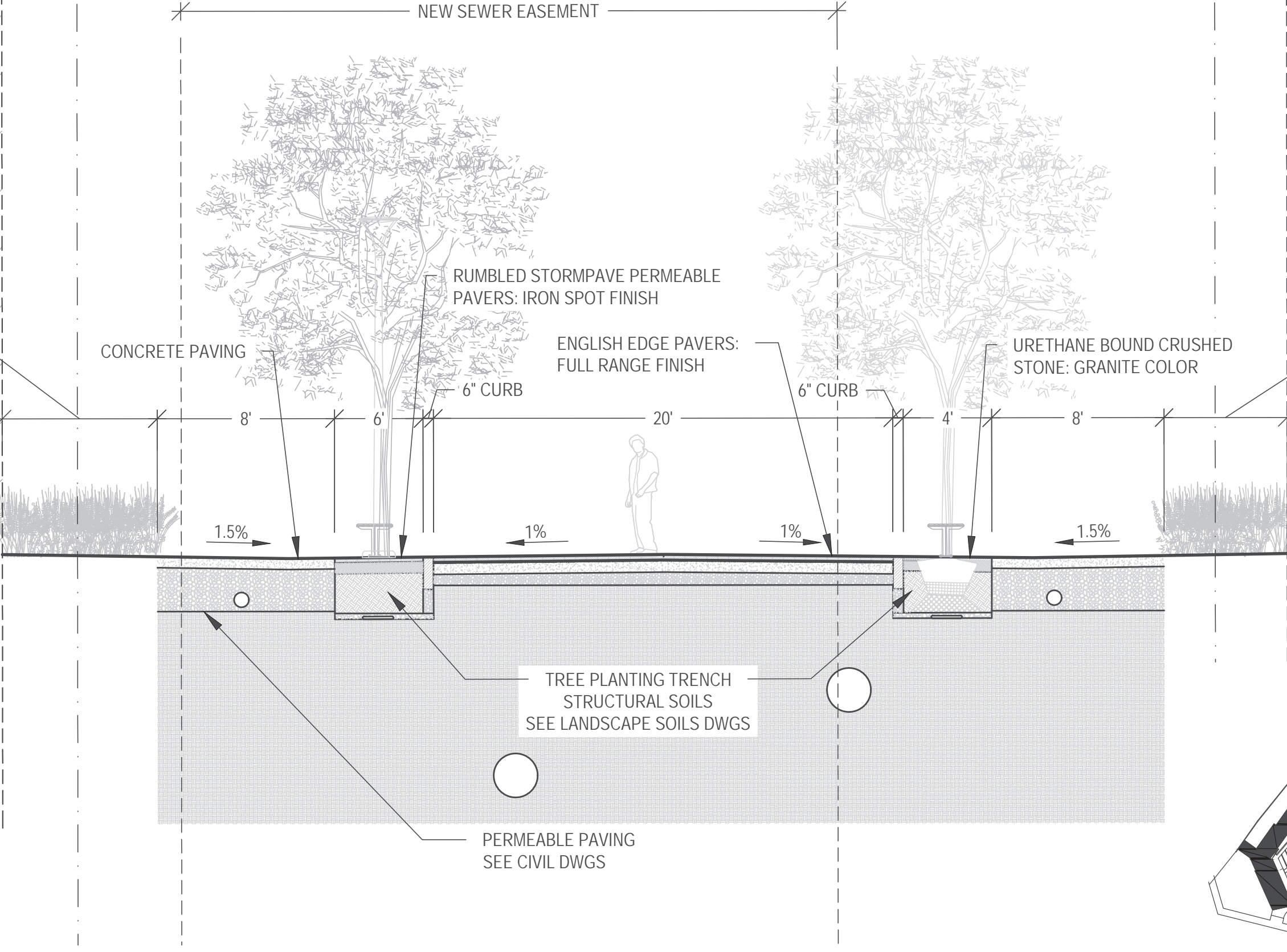
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INTERIM CONDITION

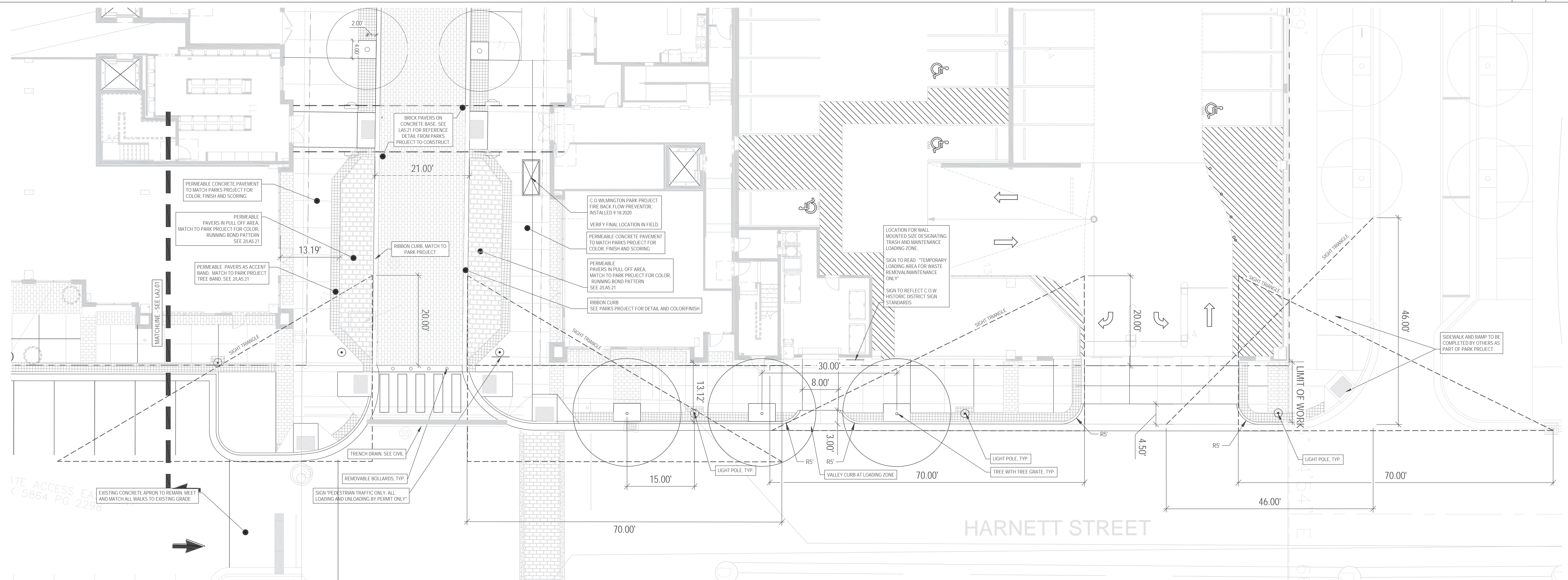


NOTE: FOR REFERENCE ONLY. SEE PARK PLANS FOR FINAL DESIGN

FULL BUILD OUT



NUTT STREET PROMENADE - INTERIM & FULL BUILD CONDITIONS
SCALE: 1" = 5'

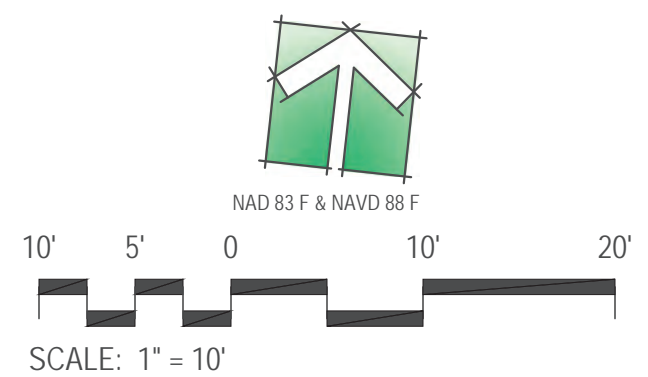


HARNETT STREET
SCALE: 1" = 10'

APPROVED
By waltonj at 2:53 pm, Apr 30, 2021

APPROVED CONSTRUCTION PLAN
Jeff Walton
April 30, 2021
City SW# 2021021
JW, BM, CW, ES, MB

5 STREET TREES REQUIRED
3 STREET TREES PROVIDED
LOSING TWO (2) STREET TREES,
PAYMENT IN LIEU



PROJECT:	19020
ISSUE:	SCHEMATIC DESIGN 09.13.2019
	50% DD 11.19.2019
	70% DD 12.20.2019
	TRC RESUBMITTAL 01.20.2020
	TRC RESUBMITTAL 03.06.2020
	TRC RESUBMITTAL 04.09.2020
	TRC RESUBMITTAL 05.05.2020
	TRC RESUBMITTAL 08.03.2020
	TRC - PARKS COORD. 09.25.2020
	TRC - Resubmittal 10.19.2020
	REVISION: TRC AMENDMENTS OTHER TO PARKS 12.21.2020

DRAWN BY:	MA
CHECKED BY:	JP
CONTENT:	HARNETT STREET LAYOUT PLAN

LA5.21

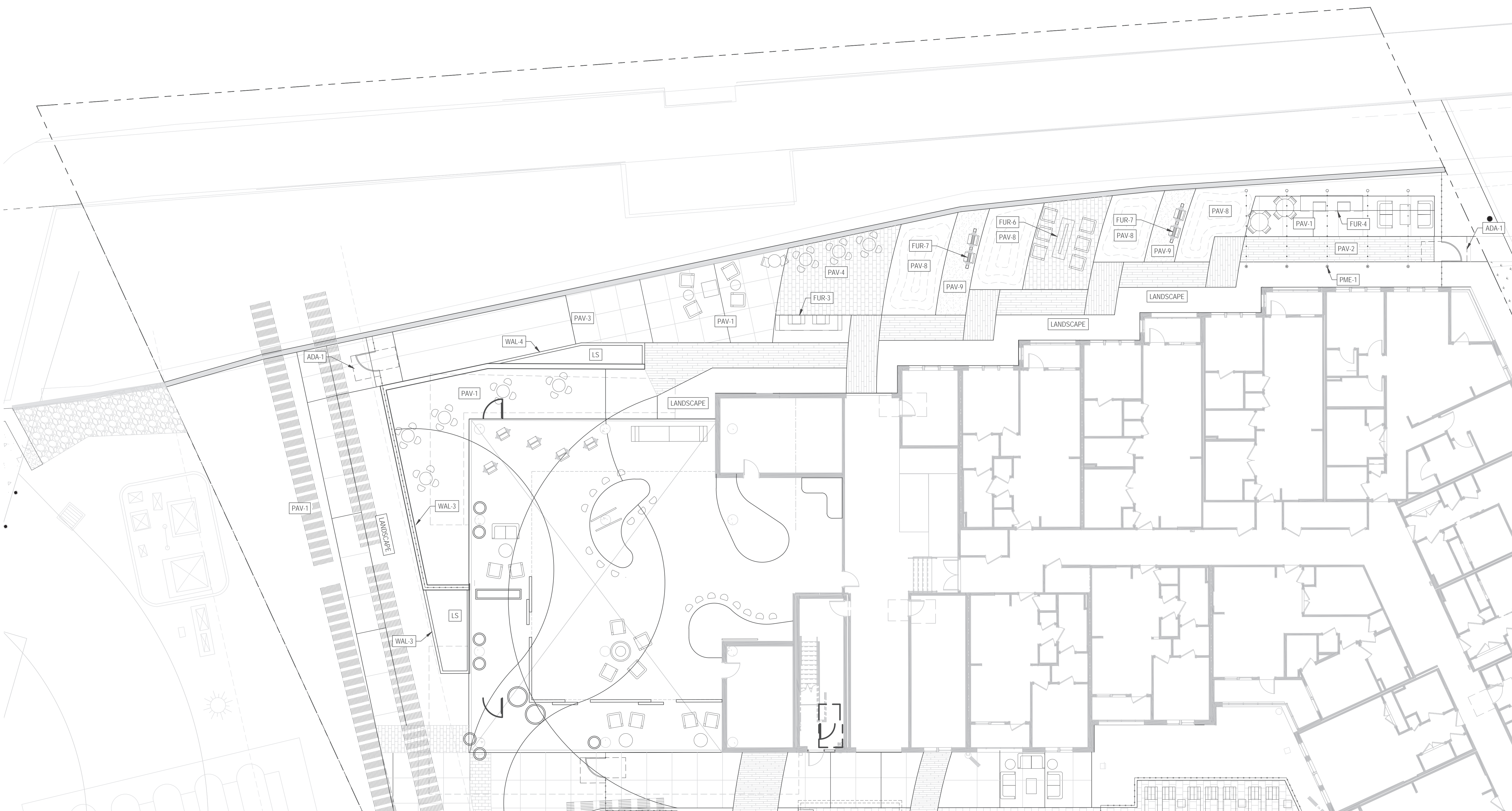
Kettler
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Harnett Street
Wilmington, NC 28041

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 City SW# 2021021
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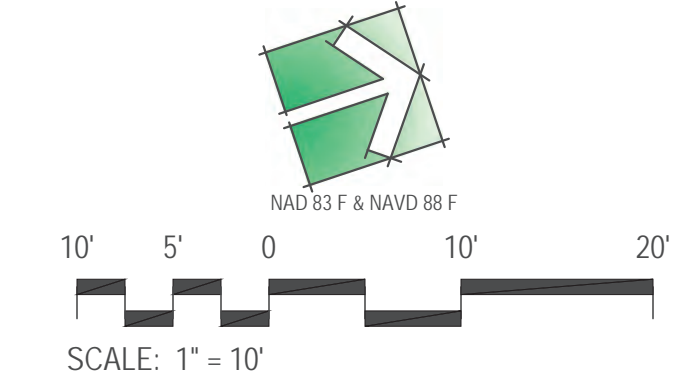
APPROVED
 By waltonj at 2:53 pm, Apr 30, 2021



L A Y O U T L E G E N D			
KEY	ITEM	DETAIL	REF ¹ SUB ²
S W I M M I N G P O O L			
SWM-1	Coping	X/LA3.0X	SP -
SWM-2	Water Line Tile	X/LA3.0X	SP -
SWM-3	Step Tile Band/ Underwater Bench Tile Band	X/LA3.0X	SP -
SWM-4	Plaster Coating	X/LA3.0X	SP -
SWM-5	Steps & Handrail	X/LA3.0X	SP -
SWM-6	Sunshelf	X/LA3.0X	SP -
SWM-7	Underwater Bench	X/LA3.0X	SP -
SWM-8	Pool Markers - Depth & No Diving	X/LA3.0X	SP -
SWM-9	ADA Compliant Lift	X/LA3.0X	SP -
SWM-10	Life Saving Equipment	X/LA3.0X	SP -
P A V E M E N T S & S U R F A C E S			
PAV-1	Standard Concrete Pavement	X/LA3.0X	- -
PAV-2	Concrete Paver Type A	X/LA3.0X	- -
PAV-3	Concrete Paver Type B	X/LA3.0X	- -
PAV-4	Concrete Paver Type C	X/LA3.0X	- -
PAV-5	Brick Paver	X/LA3.0X	- -
PAV-6	Brick Paver Edging	X/LA3.0X	- -
PAV-7	Stone Maintenance Strip	X/LA3.0X	- -
PAV-8	Landscape Mound	X/LA3.0X	- -
PAV-9	Decomposed Granite Surface	X/LA3.0X	- -
PAV-10	Precast Concrete Curbing	X/LA3.0X	- -
PAV-11	Artificial Turf	X/LA3.0X	- -
A C C E S S I B I L I T Y			
ADA-1	Maneuvering Clearance - Gates and Doors	- -	- -
ADA-2	Maneuvering Clearance - Pool Lift	- -	- -
ADA-3	Ramp to Riverwalk Yards	- -	- -
S T R U C T U R E S			
STR-1	Kitchen Shelter A	X/LA3.0X	ST SD
STR-2	Kitchen Shelter B	X/LA3.0X	ST SD
STR-7	Tiered Wooden Bench	- -	- -
F E N C E S & W A L L S			
FBN-1	Pool Fence & Gate	X/LA3.0X	- -
FBN-2	Courtyard Fence & Gate	X/LA3.0X	- -
WAL-1	Curved Seat Wall	X/LA3.0X	- -
WAL-2	Feature Wall At Kitchen Shelter A	X/LA3.0X	- -
WAL-3	Retaining Wall	X/LA3.0X	- -
WAL-4	Planter Wall	X/LA3.0X	- -
P L U M B I N G, M E C H A N I C A L & E L E C T R I C A L			
FME-1	Feetion Lights	- -	- - CS
FME-2	In-Grade Up Lights	- -	- - CS
FME-3	Bollard Light	- -	- - CS
FME-4	Outdoor Ceiling Fan	- -	- - CS
FME-5	Hanging Pendant Lighting	- -	- - CS
FME-6	USB Charging Station	- -	- - CS
FME-7	Pedestrian Light Pole	- -	- - CS
FME-8	LED Strip Light	- -	- - CS
FME-9	Wall Light	- -	- - CS
F U R N I S H I N G S			
FUR-1	Bar / Grill Enclosure A	X/LA3.0X	ST SD
FUR-2	Grill Enclosure B	X/LA3.0X	ST SD
FUR-3	Grill Enclosure C	X/LA3.0X	ST SD
FUR-4	Grill Enclosure D	X/LA3.0X	ST SD
FUR-5	Rectangular Fire Table A	X/LA3.0X	- -
FUR-6	Rectangular Fire Table B	X/LA3.0X	- -
FUR-7	Swing Chairs	X/LA3.0X	- -
FUR-8	Round Planter	X/LA3.0X	- -
FUR-9	Pole For Feetion Lights	X/LA3.0X	- -
D R A I N A G E			
DRA-1	Catch Basin with Dome Top	X/LA3.0X	C -
DRA-2	Catch Basin with Grate Top	X/LA3.0X	C -
DRA-3	Channel Drain	X/LA3.0X	C -
DRA-4	Landscape Underdrain	X/LA3.0X	C -
DRA-5	Drop Inlet	X/LA3.0X	C -

Note: All annotations are "typical" unless otherwise noted.
¹Reference: A=Arch, C=Civil, E=Elec, P=Plumbing, SP=Swim Pool, ST=Structural

WATERFRONT YARD MATERIALS AND HARDSCAPE PLAN



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Kettler
Wilmington Riverfront Apts.
 Harnett Street
 Wilmington, NC 28041

PROJECT:	19020
ISSUE:	SCHEMATIC DESIGN 09.13.2019
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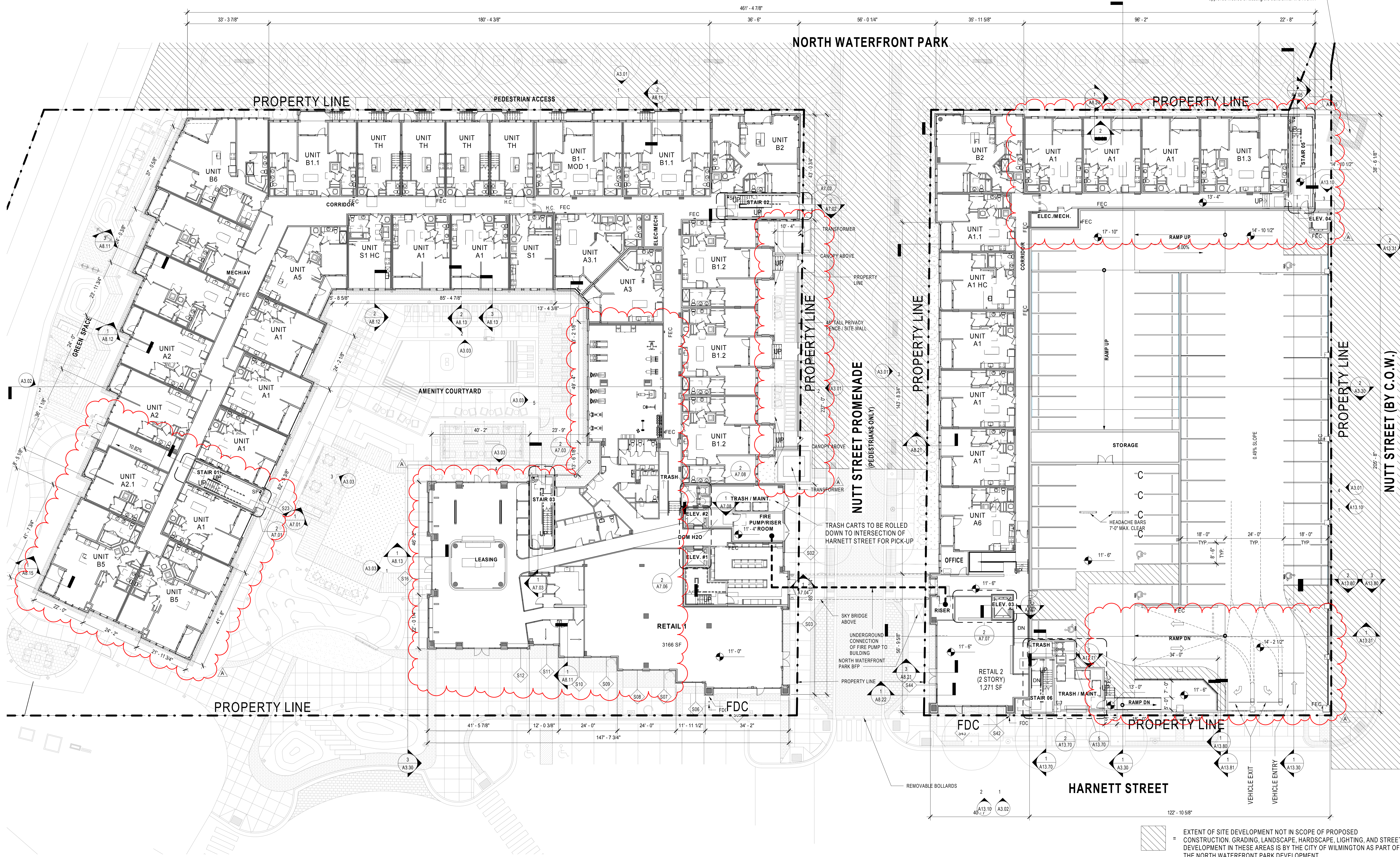
DRAWN BY: MA
 CHECKED BY: WATERFRONT YARD
 CONTENT: MATERIALS AND HARDSCAPE PLAN

LA2.11

10/19/2020 5:12 PM P:\19020\19020_JeffWalton-Wilmington\4-LA02\LA2.11.dwg -A\19020_TRC_Jwalton\03.dwg

APPROVED
CONSTRUCTION PLAN
 Jeff Walton
 April 30, 2021
 City SW# 2021021
 JW, BM, CW, ES, MB

APPROVED
 By waltonj at 2:53 pm, Apr 30, 2021



Transformer location dependent upon City Council approval related to proposed property reallocation/acquisition between Kettler property and North Waterfront Park. If transformer reallocation/acquisition is not approved, transformer will be located in below grade vault in the same location as an approved method of locating the transformer in a R.O.W.

EXTENT OF SITE DEVELOPMENT NOT IN SCOPE OF PROPOSED CONSTRUCTION. GRADING, LANDSCAPE, HARDSCAPE, LIGHTING, AND STREET DEVELOPMENT IN THESE AREAS IS BY THE CITY OF WILMINGTON AS PART OF THE NORTH WATERFRONT PARK DEVELOPMENT.

Kettler
Wilmington Riverfront Apts.
 Harnett Street
 Wilmington, NC 28401

NOT FOR
 CONSTRUCTION

PROJECT:	19020	DATE
ISSUE:	TRC SUBMITTAL	09-11-2019
	SCHEMATIC DESIGN	09-13-2019
	TRC RESUB 01	11-26-2019
	100% DD SET	12-20-2019
	TRC RESUB 02	03-06-2020
	TRC RESUB 06	10-19-2020

REVISIONS:	DESCRIPTION	DATE
A	ADD 01 - TRC Amendments/Owner Revisions	12-21-2020

DRAWN BY: NH
 CHECKED BY: JDavis
 CONTENT: FIRST FLOOR BUILDING PLAN

FIRST FLOOR BUILDING PLAN
 1/16" = 1'-0"

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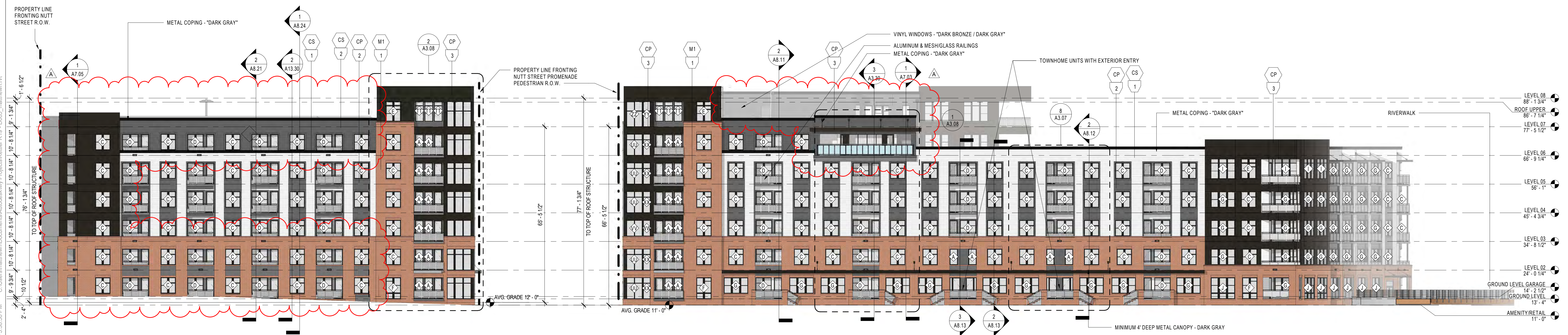
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**APPROVED
CONSTRUCTION PLAN**
Jeff Walton
April 30, 2021
City SW# 2021021
JW, BM, CW, ES, MB

APPROVED
By waltonj at 2:53 pm, Apr 30, 2021

GENERAL NOTES:
1. PROPOSED SIGNAGE IS SUBJECT TO CITY OF WILMINGTON APPROVAL.
2. NAMING INDICATED ON SIGNS ARE PLACEHOLDERS AND KETTLER / OWNER RESERVES THE RIGHT TO DETERMINE THE PROPERTY NAME AND IDENTIFICATION AT ITS SOLE DISCRETION.
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MATERIAL LEGEND		
MATERIAL ELEMENT	MATERIAL FINISH	DESCRIPTION
PC	1	PRECAST CONCRETE PANELS - GRAY - ARCHITECTURAL GRADE
CS	1	CEMENTITIOUS PLANK SIDING - LIGHT GRAY/WHITE
CS	2	CEMENTITIOUS PLANK SIDING - DARK GRAY
M1	1	MASONRY - BRICK - REDDISH
M1	2	MASONRY - BRICK - DARK GRAY
M1	3	MASONRY - BRICK - TAN
CP	3	CEMENTITIOUS PANEL WITH REVEAL SYSTEM - DARK GRAY/BLACK
CP	1	CEMENTITIOUS PANEL WITH REVEAL SYSTEM - LIGHT GRAY/WHITE
CP	2	CEMENTITIOUS PANEL WITH REVEAL SYSTEM - GRAY



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CONSTRUCTION**

PROJECT:	19020	DATE
ISSUE:	TRC SUBMITTAL	09-11-2019
	SCHEMATIC DESIGN	09-13-2019
	TRC RESUB 01	11-26-2019
	100% DD SET	12-20-2019
	TRC RESUB 02	03-06-2020
	TRC RESUB 06	10-19-2020

REVISIONS:	DATE
A ADD 01 - TRC Amendments/Owner Revisions	12-21-2020

DRAWN BY: Author
CHECKED BY: Checker
CONTENT: EXTERIOR ELEVATIONS

A3.01

JDAVIS
510 South Wilmington Street | Raleigh, NC 27601 | 919.985.8500
1516 Walnut St., Suite 1306 | Philadelphia, PA 19102 | 812.545.0121

Kettler
Wilmington Riverfront Apts.
Harnett Street
Wilmington, NC 28401

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 510 South Wilmington Street | Raleigh, NC 27601 | tel: 919.835.1900
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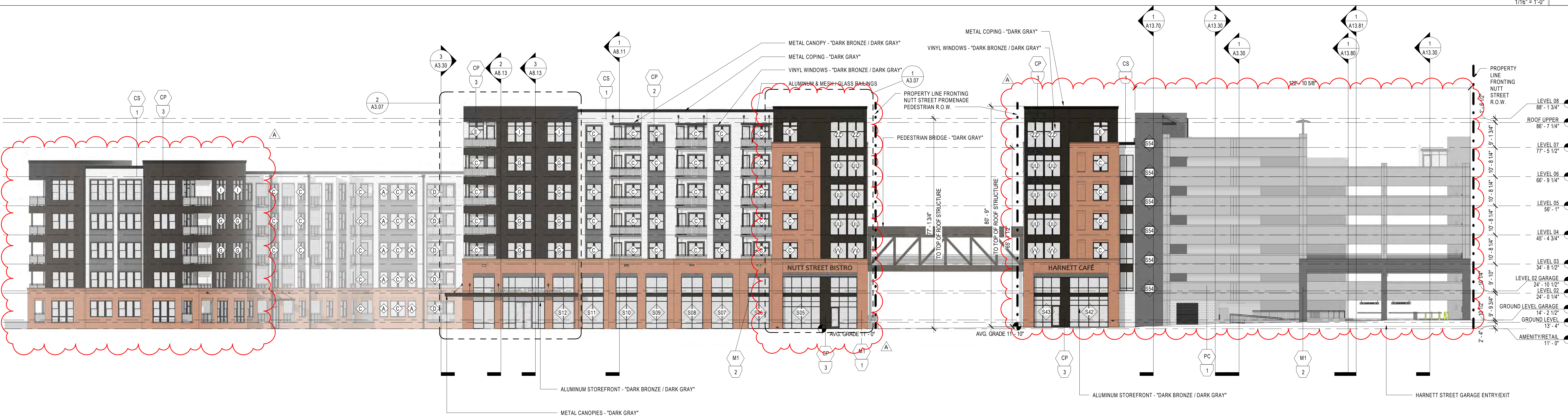
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 CONTENT: EXTERIOR ELEVATIONS

A3.02



WEST BLDG 1
 1/16" = 1'-0"



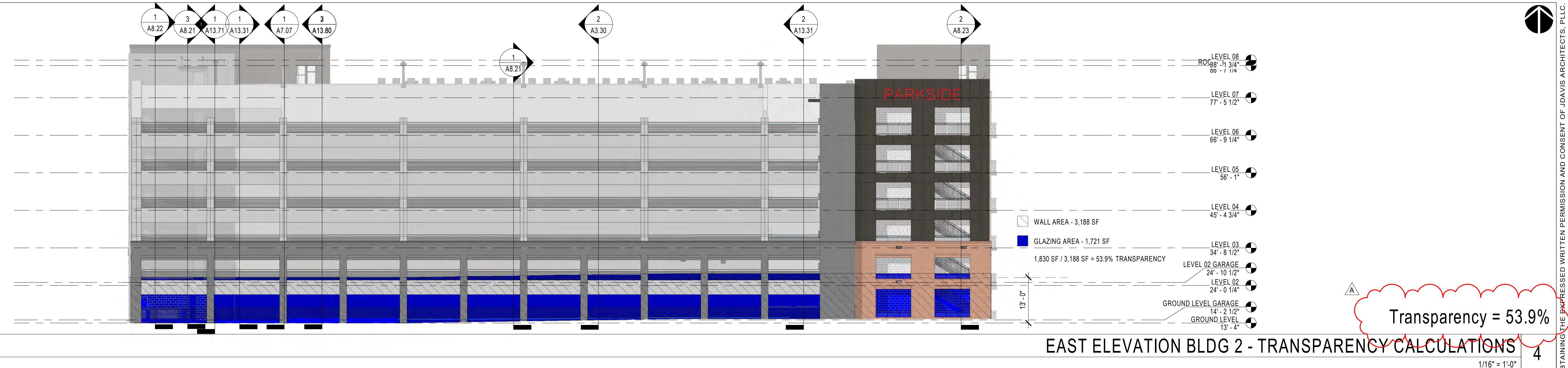
SOUTH ELEVATION BLDG 2
 1/16" = 1'-0"

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EAST ELEVATION BLDG 2 - TRANSPARENCY CALCULATIONS 4



WEST BLDG 2 - TRANSPARENCY CALCS 3



EAST ELEVATION BLDG 1 - TRANSPARENCY CALCULATIONS 2



WEST BLDG 1 - TRANSPARENCY CALCS 1

NOTE: DUE TO THE ALLOCATION OF THE WESTERN MOST PORTION OF THE SITE, ADJACENT TO THE RIVERWALK, AS A SEPARATE PARCEL, THIS ELEVATION NO LONGER FRONTS A PUBLIC R.O.W., THEREFORE THE TRANSPARENCY REQUIREMENT IS NOT APPLICABLE.

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CONTENT: TRANSPARENCY CALCULATIONS

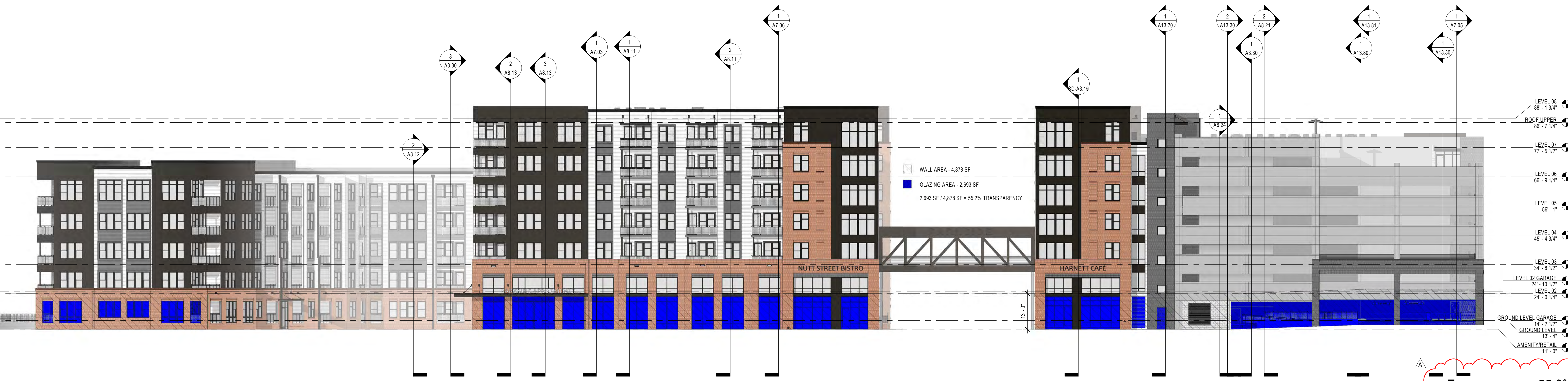
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NORTH ELEVATION - TRANSPARENCY CALCS 2
 1/16" = 1'-0"



SOUTH ELEVATION BLDG 2 - TRANSPARENCY CALCS 1
 1/16" = 1'-0"

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